

CITY OF NANAIMO

BYLAW NO. 4500.024

A BYLAW TO AMEND THE CITY OF NANAIMO "ZONING BYLAW 2011 NO. 4500"

WHEREAS the Council may zone land, by bylaw, pursuant to Sections 890, 891, 903 and 904 of the *Local Government Act*,

THEREFORE BE IT RESOLVED the Municipal Council of the City of Nanaimo, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited as the "ZONING AMENDMENT BYLAW 2012 NO. 4500.024".
2. The City of Nanaimo 'ZONING BYLAW 2011 NO.4500' is hereby amended by adding Section 16.9 as follows:

16.9 COMPREHENSIVE DEVELOPMENT DISTRICT ZONE NINE (CD9)
The intent of this zone is to provide for a residential subdivision.

16.9.1 PERMITTED USES

Principal Uses	Conditions of Use
Single Residential Dwelling	

Accessory Uses	Conditions of Use
Bed and Breakfast	Subject to Part 6. Must be located within a Single Residential Dwelling.
Boarding and Lodging	Shall not exceed two sleeping units and shall not accommodate more than two persons. Must be included within a Single Residential Dwelling.
Daycare	Subject to Part 6.
Home Based Business	Subject to Part 6.
Secondary Suite	Subject to Part 6. Must be accessory to a Single Residential Dwelling.

16.9.2 DENSITY
One Single Residential Dwelling per lot.

16.9.3 LOT AREA
Lot area shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.4 LOT DIMENSIONS
Lot dimensions shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.5 YARD SETBACKS
Yard setbacks shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.6 LOT COVERAGE

Lot coverage shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.7 BUILDING HEIGHT

Building Height shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.8 GARAGE FLOOR ELEVATION

Garage floor elevation shall be as set out in the plans included within Subsection 16.9.9 of this Bylaw.

16.9.9 PLANS

Within the CD9 Zone lot area, lot dimensions, yard setbacks, lot coverage, building height, and garages floor elevations shall be developed in general accordance with the following plan:

DEVELOPMENT DATA

Lot Area:

The following table shows the lot areas for Lots 1–15 on the plan.

Lot #	Maximum Lot Area (+/- 10%)
Lot 1	530.9 m ²
Lot 2	702.8 m ²
Lot 3	567.9 m ²
Lot 4	848.3 m ²
Lot 5	493.1 m ²
Lot 6	450.1 m ²
Lot 7	548.1 m ²
Lot 8	696.6 m ²
Lot 9	517.7 m ²
Lot 10	388.8 m ²
Lot 11	328.4 m ²
Lot 12	348.7 m ²
Lot 13	364.9 m ²
Lot 14	526.6 m ²
Lot 15	681.2 m ²

Yard Setbacks:

The following yard setbacks apply to all lots.

Front:	3.0 metres
Side:	1.5 metres or no vegetation disturbance covenant line, whichever is more restrictive – refer to plan.
Flanking Side:	3.0 metres
Rear:	4.5 metres or no vegetation disturbance covenant line, whichever is more restrictive – refer to plan.

Lot Coverage:

Within the yard setbacks, the maximum lot coverage is restricted to 40%.

Building Height:

The following table shows maximum building heights for Lots 1-15. All elevations are referenced in geodetic data.

Lot #	Maximum Ridge Height
Lot 1	135.7 m
Lot 2	134.6 m
Lot 3	134.7 m
Lot 4	135.0 m
Lot 5	134.5 m
Lot 6	133.1 m
Lot 7	132.3 m
Lot 8	122.0 m
Lot 9	120.6 m
Lot 10	126.6 m
Lot 11	126.3 m
Lot 12	126.9 m
Lot 13	127.8 m
Lot 14	130.4 m
Lot 15	132.6 m

Notes:

1. Maximum ridge height for all lots (except Lots 8 & 9 – see No.2 below) established at 9.0 metres above existing natural grade measured from mid-point within the buildable area (mid-points shown on the plan).
2. Maximum ridge height for lots 8 & 9 established at 4.0 metres above curb height measured from midpoint of front lot line.

Garage Floor Elevation:

The following table shows garage floor elevations for Lots 1-15. All elevations are referenced in geodetic data.

Lot #	Garage Floor Elevation
Lot 1	126.90 m
Lot 2	124.80 m
Lot 3	126.00 m
Lot 4	127.40 m
Lot 5	125.45 m
Lot 6	123.76 m
Lot 7	121.40 m
Lot 8	116.00 m
Lot 9	116.00 m
Lot 10	116.30 m
Lot 11	117.20 m
Lot 12	118.90 m
Lot 13	120.50 m
Lot 14	122.70 m
Lot 15	124.50 m

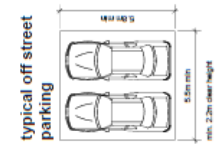
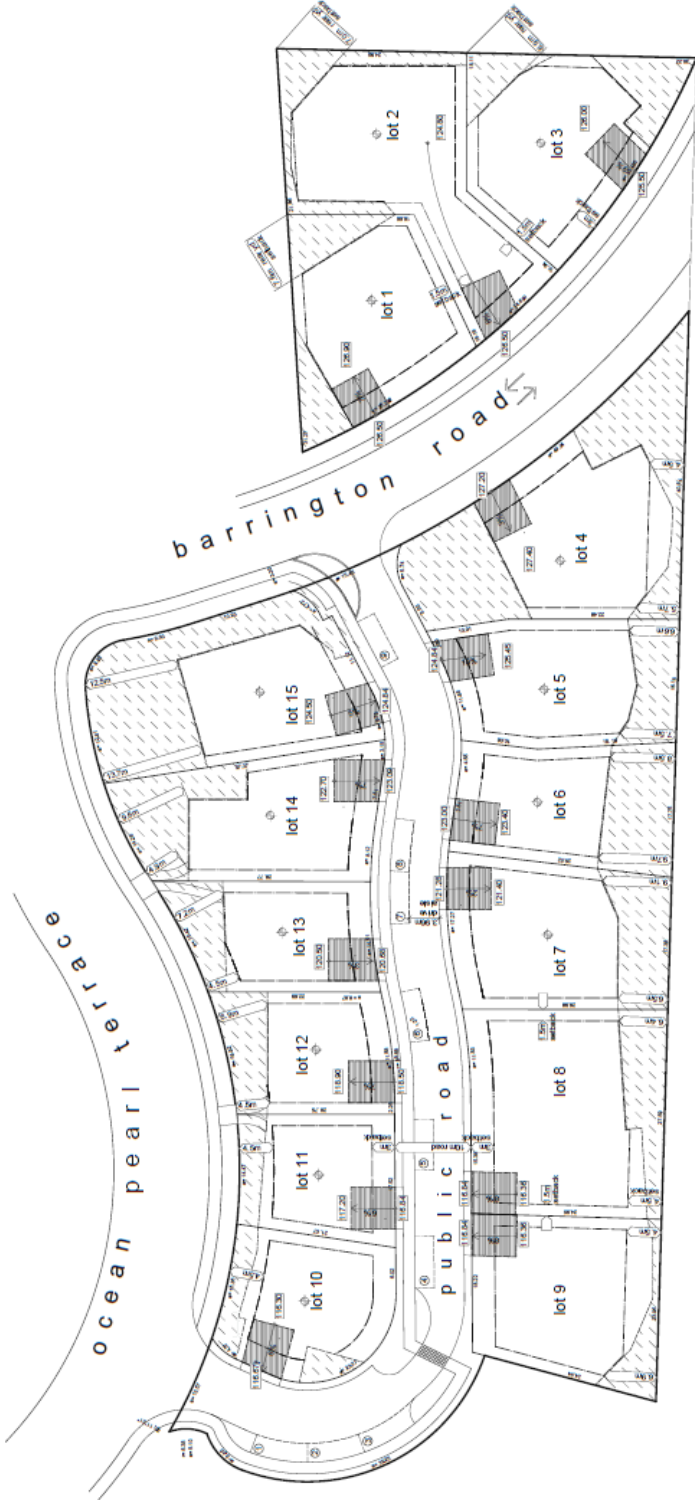


client: Hazewood Holdings Ltd
 barrington road
 nanaimo b.c.
 Proposed rezoning for rockwood estates

DRAWING TITLE: site plan
 SCALE: AS SHOWN
 DRAWN BY: [blank]
 NUMBER: 01JAN12.12
 ISSUED: 24 APR 12
 CHECKED BY: [blank]
 DATE: 23 APR 12
 REVISION: 01 JAN 12

NOTES:
 1) MAX ROOF HEIGHT FOR ALL LOTS EXCEPT LOTS 10 & 11 IS 12.0m (39.4ft) UNLESS OTHERWISE INDICATED.
 2) DISTANCES BETWEEN BUILDINGS SHALL BE AS SHOWN.
 3) CURB HEIGHT MEASURED AS IMPROVED TO FRONT LOT LINE.
 4) ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE INDICATED.
 5) ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE INDICATED.
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 10) ALL DISTANCES ARE TO THE CENTERLINE UNLESS OTHERWISE INDICATED.

PR1



LOT #	LOT AREA	MAX LOT COVER	MAX FLOOR AREA	MAX HEIGHT
1	12,200	45%	12,200	12.0m
2	12,200	45%	12,200	12.0m
3	12,200	45%	12,200	12.0m
4	12,200	45%	12,200	12.0m
5	12,200	45%	12,200	12.0m
6	12,200	45%	12,200	12.0m
7	12,200	45%	12,200	12.0m
8	12,200	45%	12,200	12.0m
9	12,200	45%	12,200	12.0m
10	12,200	45%	12,200	12.0m
11	12,200	45%	12,200	12.0m
12	12,200	45%	12,200	12.0m
13	12,200	45%	12,200	12.0m
14	12,200	45%	12,200	12.0m
15	12,200	45%	12,200	12.0m

SETBACKS:
 1.5M SIDE SETBACK
 1.5M FRONT SETBACK
 1.5M REAR SETBACK
 1.5M SIDE SETBACK
 1.5M FRONT SETBACK
 1.5M REAR SETBACK

LEGEND:
 - - - - - proposed setbacks
 - - - - - actual setbacks
 - - - - - proposed setbacks
 - - - - - actual setbacks

NOTES:
 1) MAX ROOF HEIGHT FOR ALL LOTS EXCEPT LOTS 10 & 11 IS 12.0m (39.4ft) UNLESS OTHERWISE INDICATED.
 2) DISTANCES BETWEEN BUILDINGS SHALL BE AS SHOWN.
 3) CURB HEIGHT MEASURED AS IMPROVED TO FRONT LOT LINE.



site plan
 scale: 1:250

3. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is hereby amended as follows:

By rezoning the land legally described as part of LOT 2, DISTRICT LOT 18, WELLINGTON DISTRICT, PLAN VIP86869, EXCEPT PART IN PLAN VIP86995, from Townhouse Residential (R6) to Comprehensive Development District Zone Nine (CD9), as shown on Schedule A.

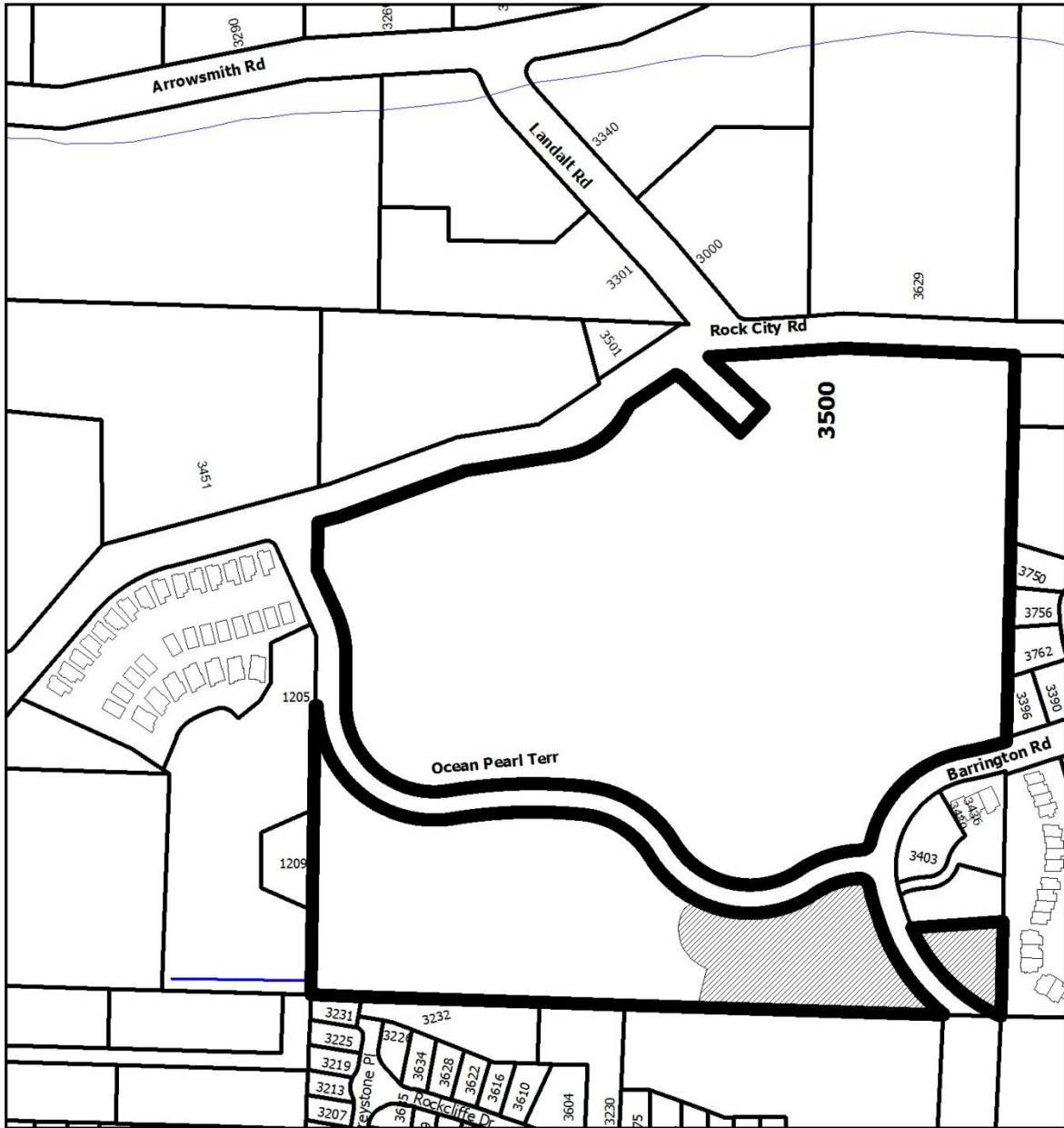
PASSED FIRST READING 2012-JUN-11
PASSED SECOND READING 2012-JUN-11
PUBLIC HEARING HELD 2012-JUN-28
PASSED THIRD READING 2012-JUN-28
COVENANT REGISTERED 2012-SEP-24
ADOPTED 2012-OCT-15

J. R. RUTTAN
MAYOR

K. KING
CORPORATE OFFICER

File: RA000296
Address: Part of 3500 Rock City Road

Schedule A




REZONING APPLICATION NO. RA296

LOCATION PLAN

Civic: Part of 3500 Rock City Road



 **Subject Property**

 **Portion to be Rezoned**